



1 Looking Across Gutierrez Street At Site



2 Looking Across Gutierrez Street From Site



3 Site From Southwest



4 Looking Across Laguna Street At Site



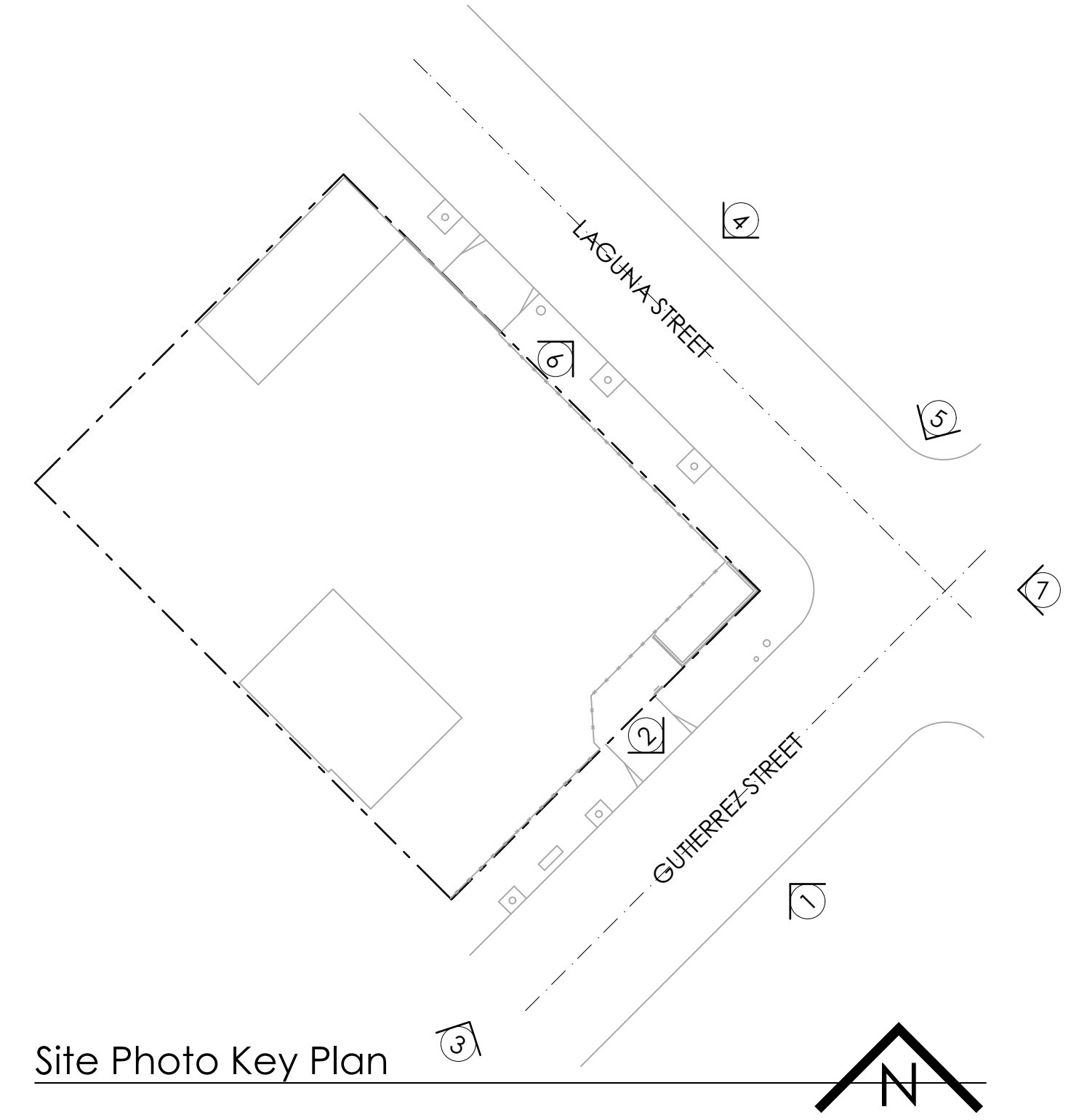
5 Gutierrez Street Looking Southwest



6 Looking Across Laguna Street From Site

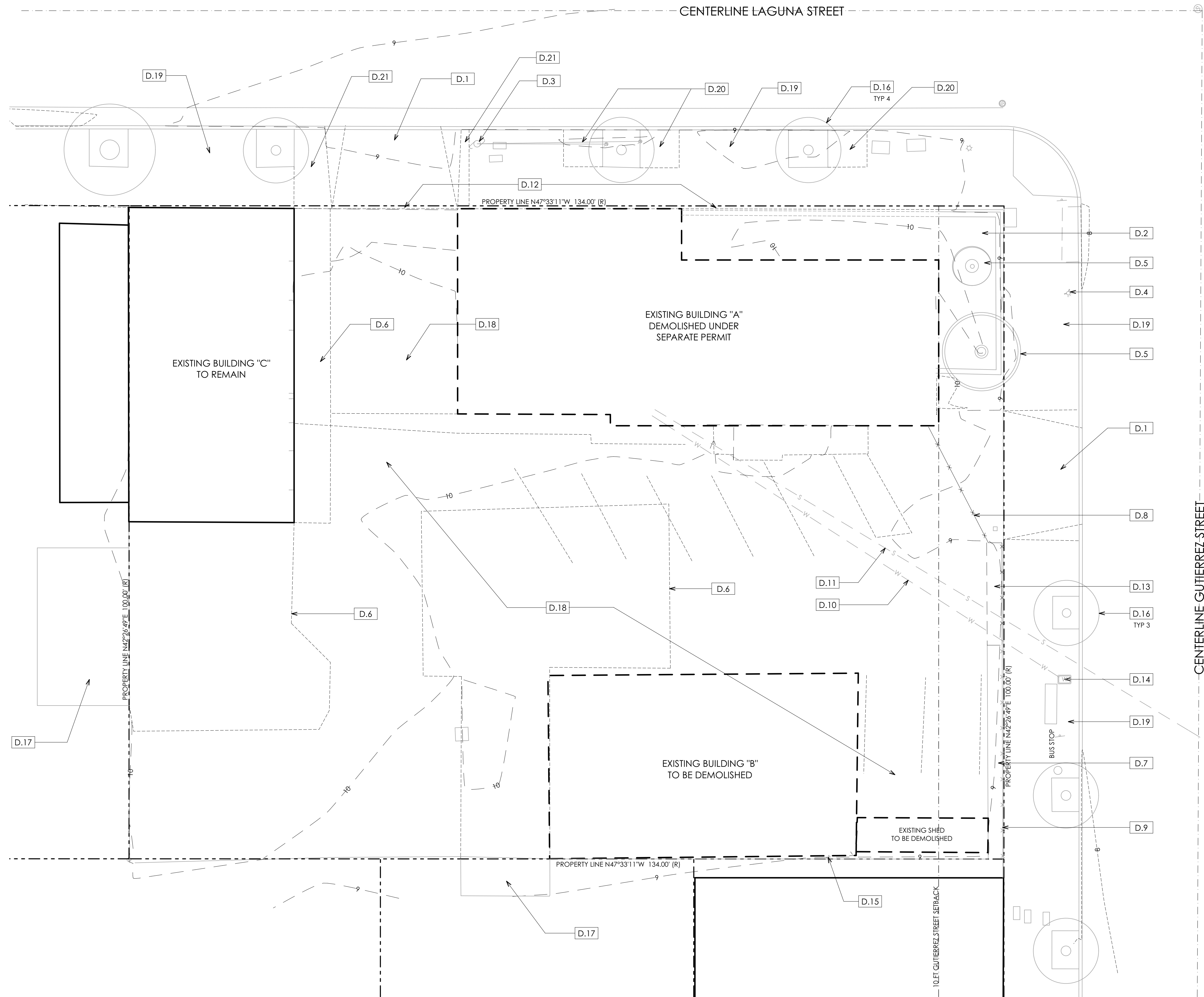


7 Looking West From Intersection



Site Photo Key Plan

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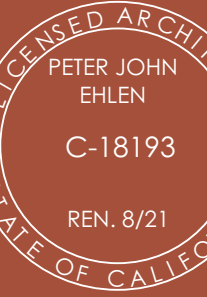


Site Demolition Plan

0 4' 8' 16'
SCALE: 1/8" = 1'-0"

Demolition Notes

- D.1 (E) DRIVEWAY APRON TO BE REMOVED
- D.2 (E) RAISED PLANTER TO REMAIN
- D.3 (E) POWER POLE
- D.4 (E) FIRE HYDRANT
- D.5 (E) PALM TREE TO REMAIN
- D.6 (E) CONCRETE PAD TO BE REMOVED
- D.7 (E) PLANTER TO REMAIN
- D.8 (E) CHAIN LINK FENCE AND GATE TO BE REMOVED
- D.9 (E) CHAIN LINK FENCE TO REMAIN
- D.10 (E) WATER SERVICE TO REMAIN
- D.11 (E) SEWER SERVICE TO BE ABANDONED
- D.12 REMOVE PORTION OF (E) SIDEWALK ON PRIVATE PROPERTY TO ALLOW CONSTRUCTION OF BUILDING UP TO THE PROPERTY LINE
- D.13 (E) PLANTER TO BE REMOVED
- D.14 (E) WATER METER
- D.15 (E) GAS SERVICE
- D.16 (E) STREET TREE AND PLANTER
- D.17 (E) DRIVEWAY RAMP TO ADJACENT PARCEL
- D.18 (E) AC PAVING TO BE REMOVED
- D.19 (E) CONCRETE SIDEWALK TO REMAIN
- D.20 (E) UPLIFTED CONCRETE SIDEWALK TO BE REMOVED
- D.21 (E) CONCRETE SIDEWALK TO BE REMOVED



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New Warehouse Building for:
Ashcraft Family Trust
335 E. Gutierrez Street
Santa Barbara, CA, 93101

Project No: 18.13
Revision:

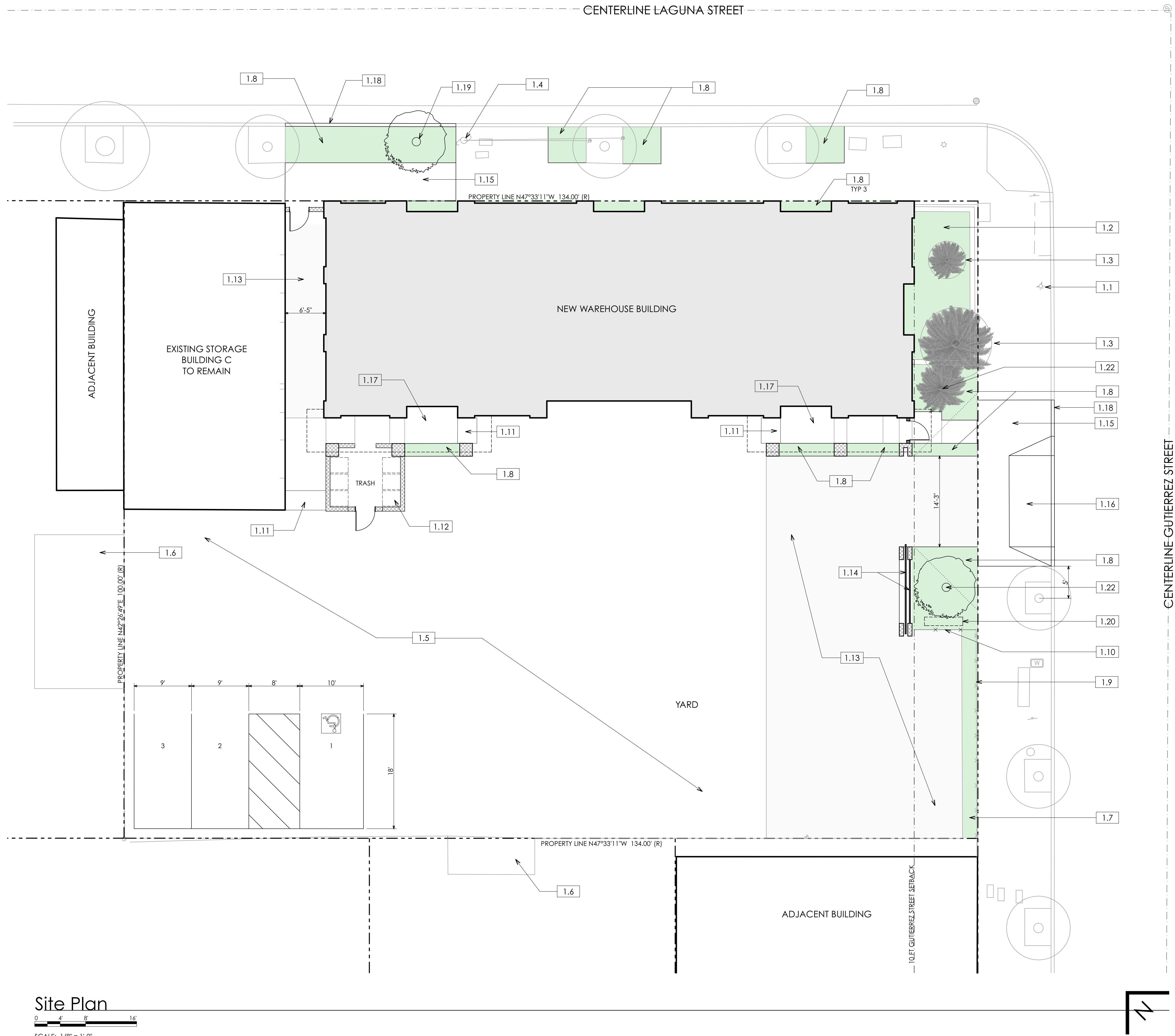
Dates Issued:
06.10.19 ABR Submittal
09.23.19 ABR Re-submittal

Drawing Date:
23 September 2019

Site
Demolition
Plan

A1.1

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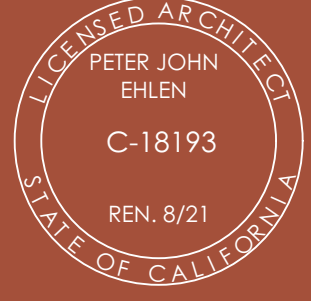
Keyed Notes

- SITWORK**
- 1.1 EXISTING FIRE HYDRANT
 - 1.2 EXISTING RAISED PLANTER
 - 1.3 EXISTING PALM TREE
 - 1.4 EXISTING POWER POLE
 - 1.5 NEW AC PAVING PER CIVIL PLAN
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 - 1.10 NEW CHAIN LINK FENCE TO MATCH EXISTING
 - 1.11 TRUNCATED DOMES
 - 1.12 TRASH ENCLOSURE: (3) 95 GALLON TRASH, (3) 95 GALLON RECYCLE
 - 1.13 PERMEABLE PAVING PER CIVIL PLAN
 - 1.14 FENCE AND GATE, 8 FEET HIGH
 - 1.15 SIDEWALK PER CITY STANDARDS
 - 1.16 DRIVEWAY PER CITY STANDARDS
 - 1.17 CONCRETE WALK
 - 1.18 CURB PER CITY STANDARDS
 - 1.19 NEW STREET TREE PER LANDSCAPE PLAN
 - 1.20 FIRE SPRINKLER BACKFLOW PREVENTER + FIRE DEPT CONNECTION
 - 1.21 GREEN SCREEN PER LANDSCAPE PLANS
 - 1.22 NEW TREE PER LANDSCAPE PLANS

- MASONRY**
- 4.1 CONCRETE BLOCK FLOODPROOFING WALL
 - 4.2 FLOODPROOFING OPENING – OMIT (2) BLOCKS

- DOORS & WINDOWS**
- 8.1 HOLLOW METAL DOOR AND FRAME – PAINT
 - 8.2 ALUMINUM STOREFRONT SYSTEM – MILL FINISH

- FINISHES**
- 9.1 EXTERIOR PLASTER WITH SMOOTH TROWEL FINISH - PAINT
 - 9.2 OVERHANG WITH PLASTER FINISH



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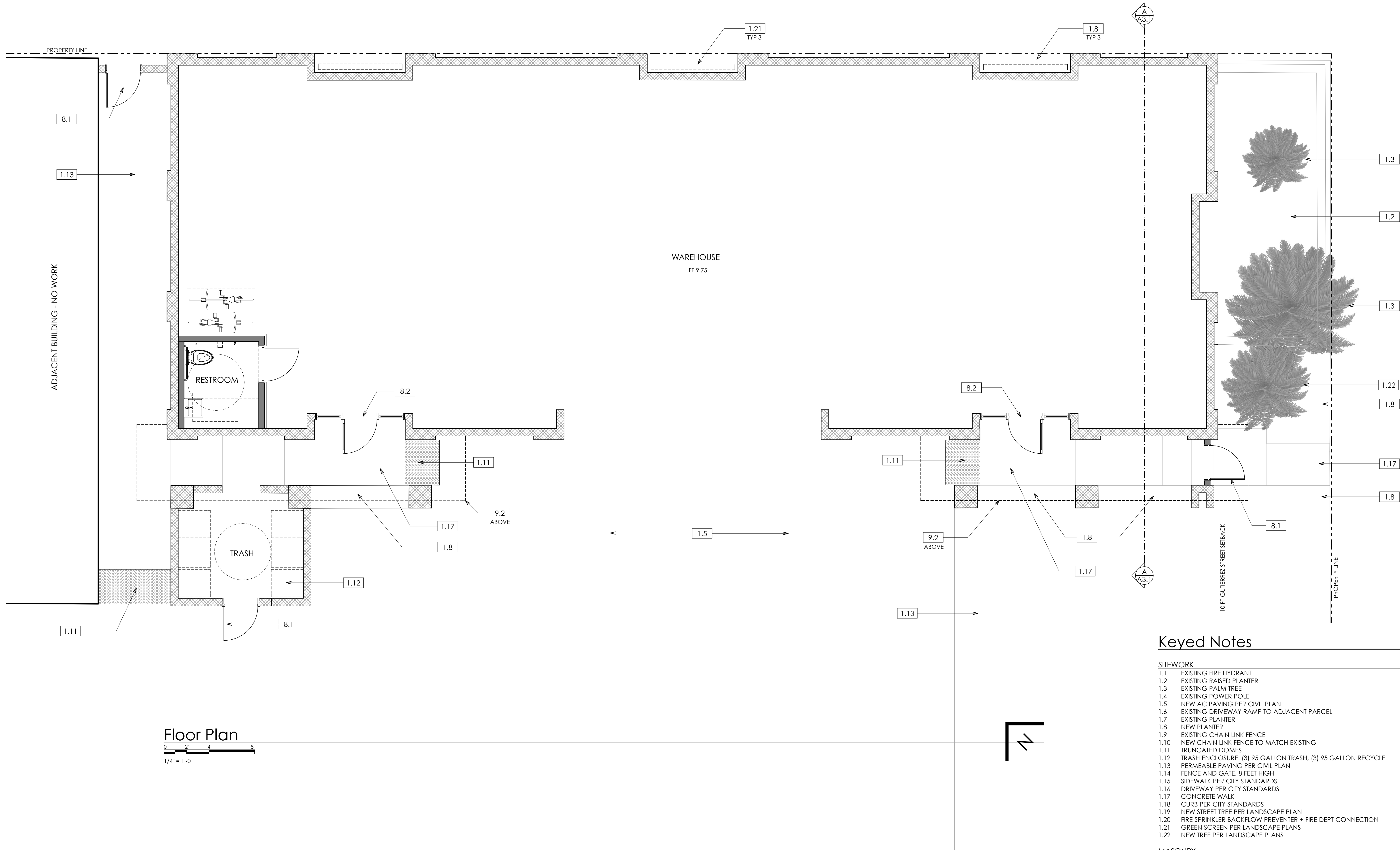
23 September 2019

Site Plan

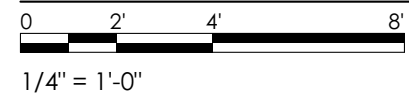
A1.2

Plotted On: 9/19/19

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Floor Plan



Keyed Notes

SITEWORK

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MASONRY

- 4.1 CONCRETE BLOCK FLOODPROOFING WALL
- 4.2 FLOODPROOFING OPENING - OMIT (2) BLOCKS

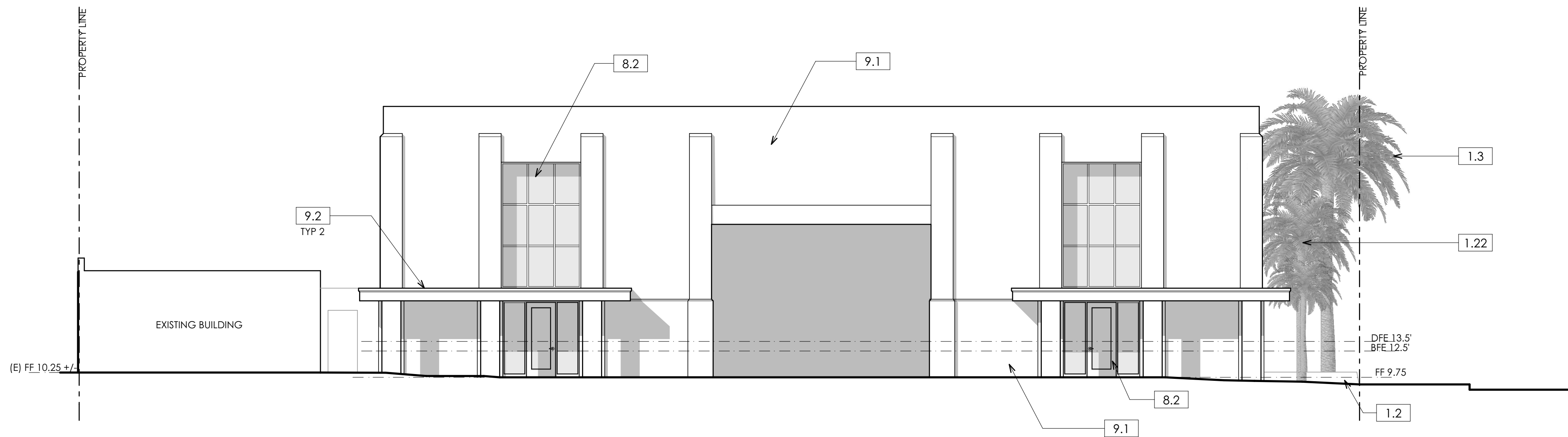
DOORS & WINDOWS

- 8.1 HOLLOW METAL DOOR AND FRAME - PAINT
- 8.2 ALUMINUM STOREFRONT SYSTEM - MILL FINISH

FINISHES

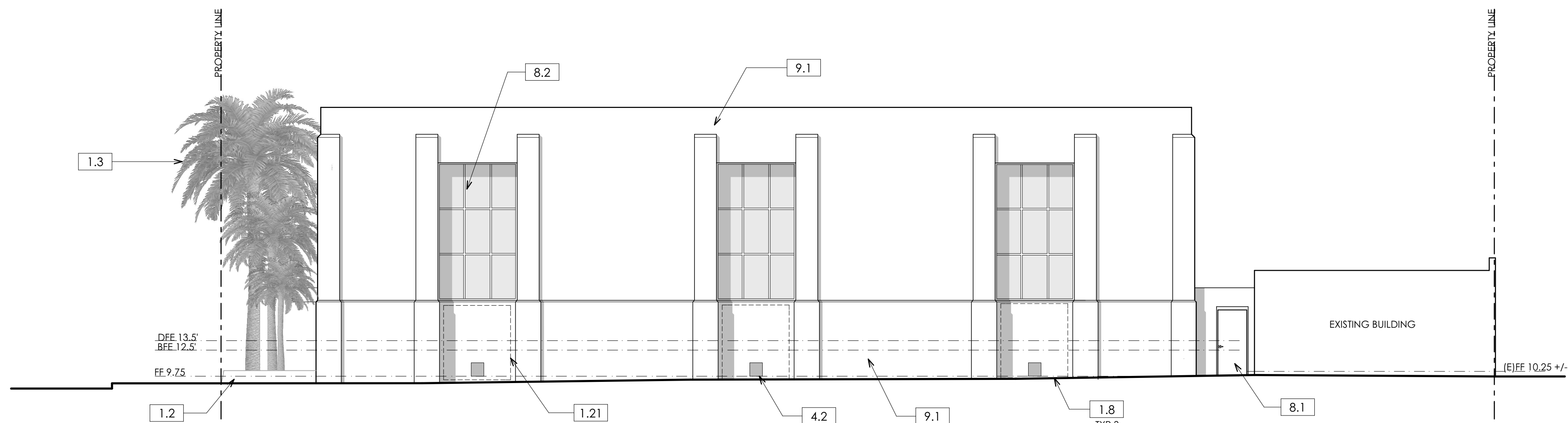
- 9.1 EXTERIOR PLASTER WITH SMOOTH TROWEL FINISH - PAINT
- 9.2 OVERHANG WITH PLASTER FINISH

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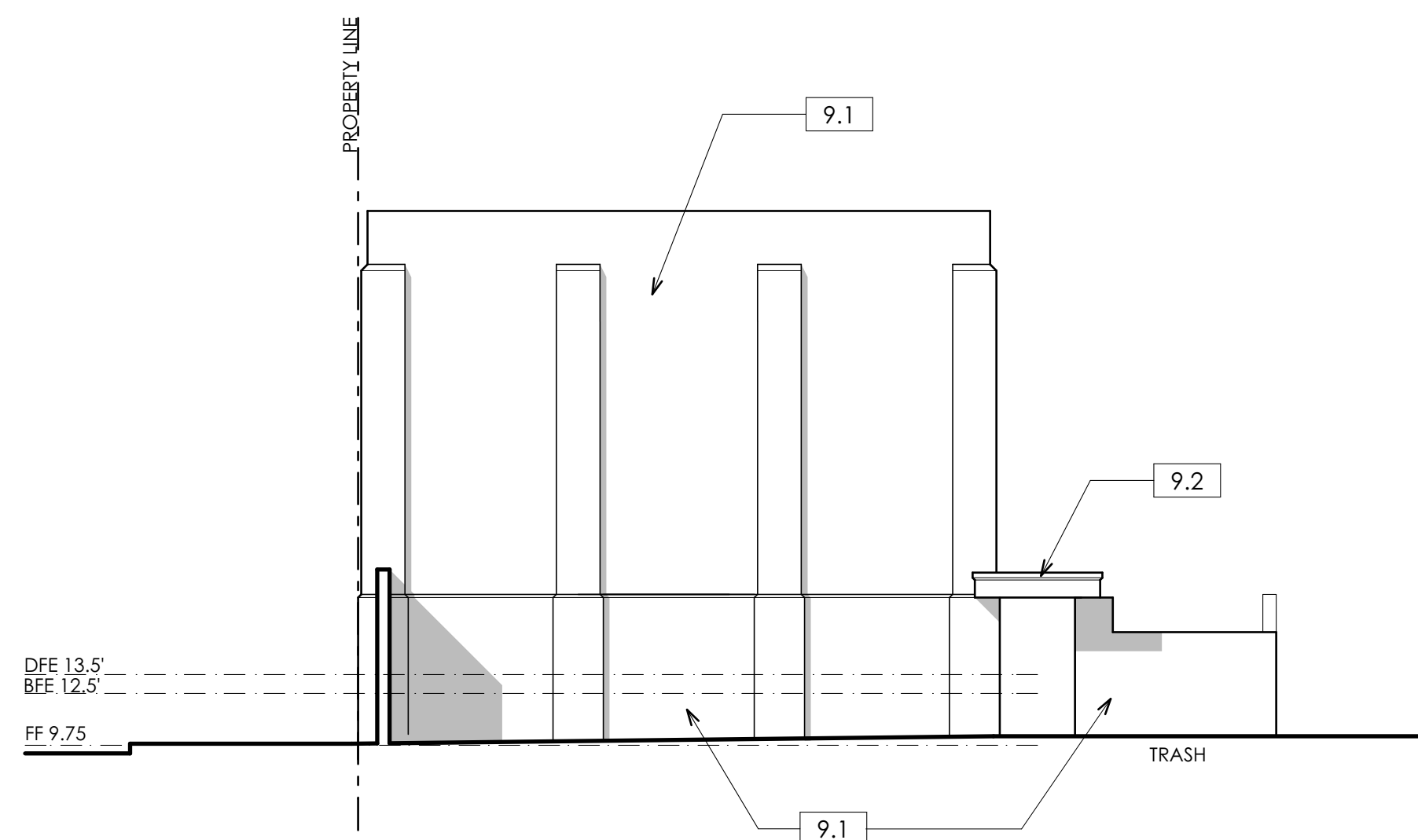
Southwest Elevation

0 4' 8' 16'
1/8" = 1'-0"



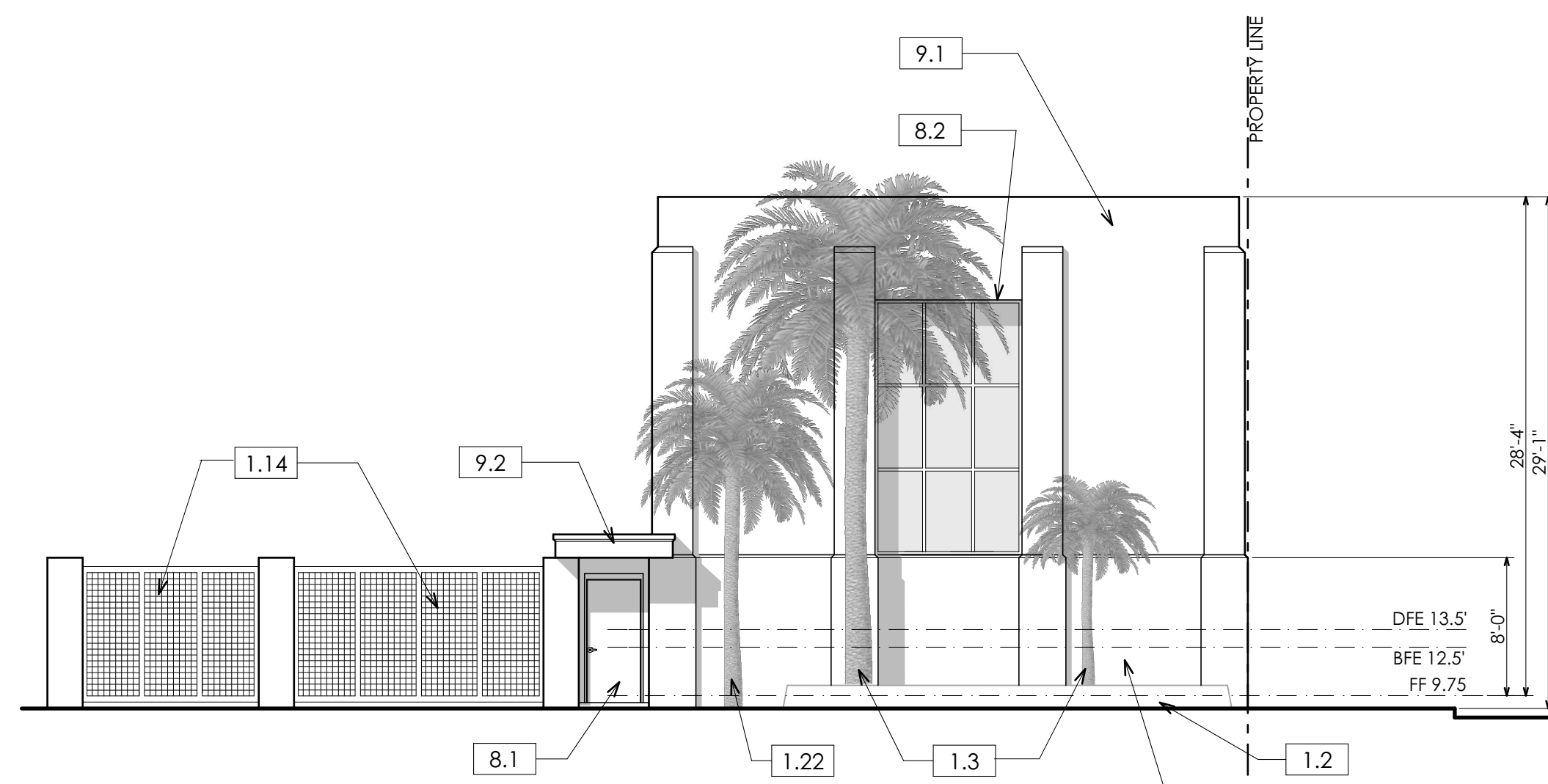
Northeast Elevation

0 4' 8' 16'
1/8" = 1'-0"



Northwest Elevation

0 4' 8' 16'
1/8" = 1'-0"



Southeast Elevation

0 4' 8' 16'
1/8" = 1'-0"

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MASONRY

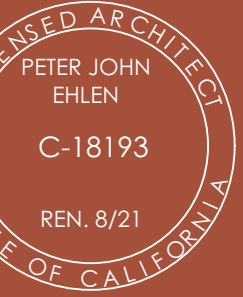
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- 4.2 FLOODPROOFING OPENING - OMIT (2) BLOCKS

DOORS & WINDOWS

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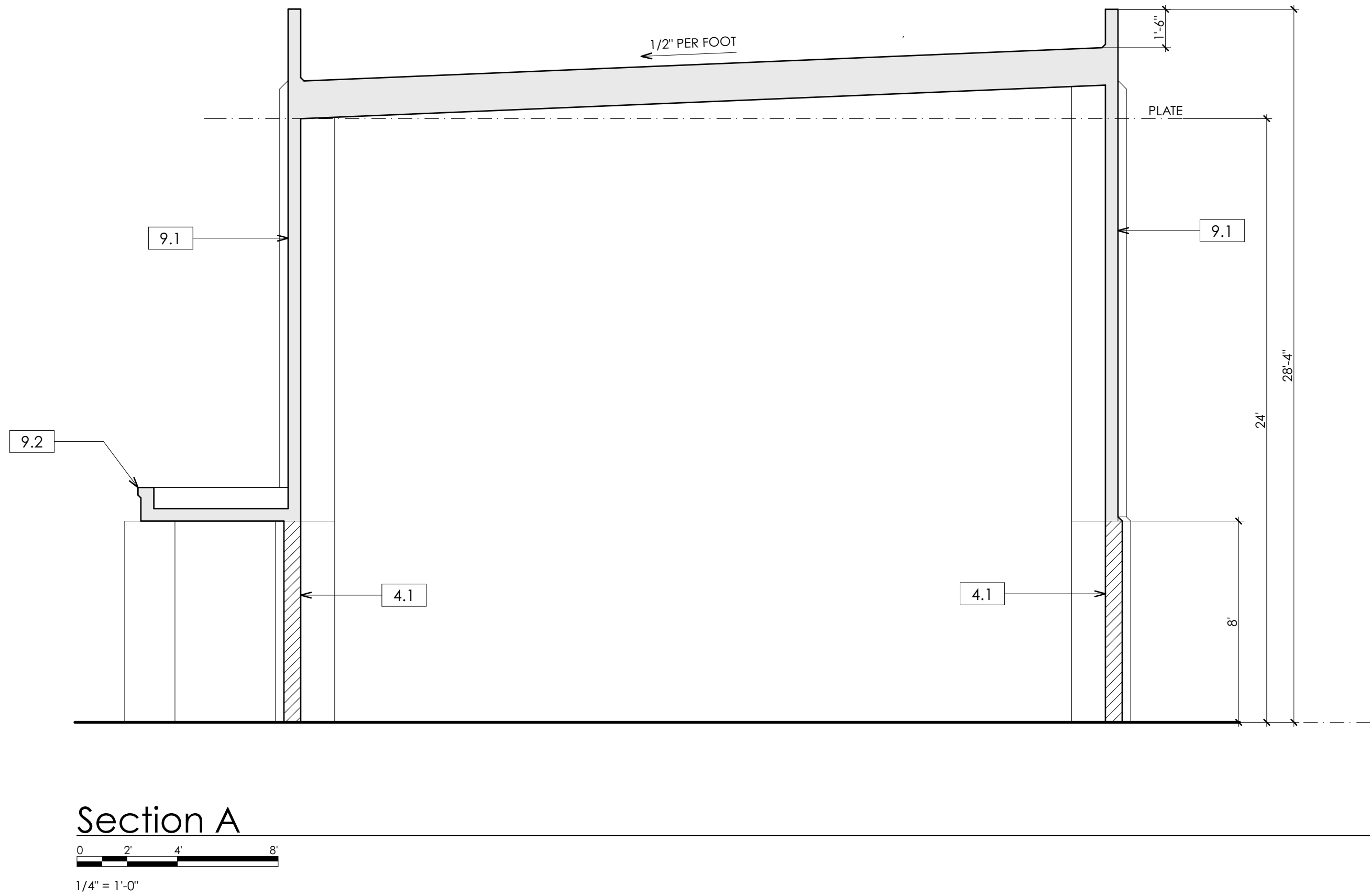
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Elevations

A3.1

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E

EAST
BEACH
VENTURES
ARCHITECTURE

ALIGNED ARCHITECT
PETER JOHN
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APN: 031-282-009

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PRELIMINARY GRADING AND DRAINAGE PLAN

- ① PROPOSED PERMEABLE PAVERS
- ② PROPOSED TYPE A CITY STANDARD CURB OUTLET DRAIN.
- ③ PROPOSED 6" CURB
- ④ REMOVE AND REPLACE EXISTING DRIVEWAY WITH NEW CITY STANDARD CURB GUTTER AND SIDEWALK
- ⑤ REMOVE AND REPLACE EXISTING DRIVEWAY WITH NEW CITY STANDARD CURB GUTTER, SIDEWALK, AND DRIVEWAY.

TOTAL PROJECT AREA	13,400 SF
PRE-PROJECT IMPERVIOUS AREA	12,678 SF
PROPOSED NEW IMPERVIOUS AREA	0 SF
REPLACED IMPERVIOUS AREA	9,660 SF
REMOVED IMPERVIOUS AREA	1,711 SF
POST PROJECT IMPERVIOUS AREA	10,967 SF

BMP	TRIBUTARY DRAINAGE AREA	REQUIRED 1"/24 HR TREATMENT VOLUME (CU. FT.)	PROVIDED TREATMENT VOLUME (CU. FT.)
PERMEABLE PAVERS	10,967 SF	914 CF	932 CF

PROVIDED	
PERMEABLE PAVER AREA	1,554 SF
DEPTH OF DRAIN ROCK	1.5 FT
TREATMENT VOLUME	932 CF

* 40% VOIDS IN ROCK

TIER REQUIREMENT : 3
NOTE: PEAK RUNOFF DISCHARGE RATE AND VOLUME REDUCTION
REQUIREMENTS DO NOT APPLY DU TO REDUCTION IN IMPERVIOUS SURFACES.

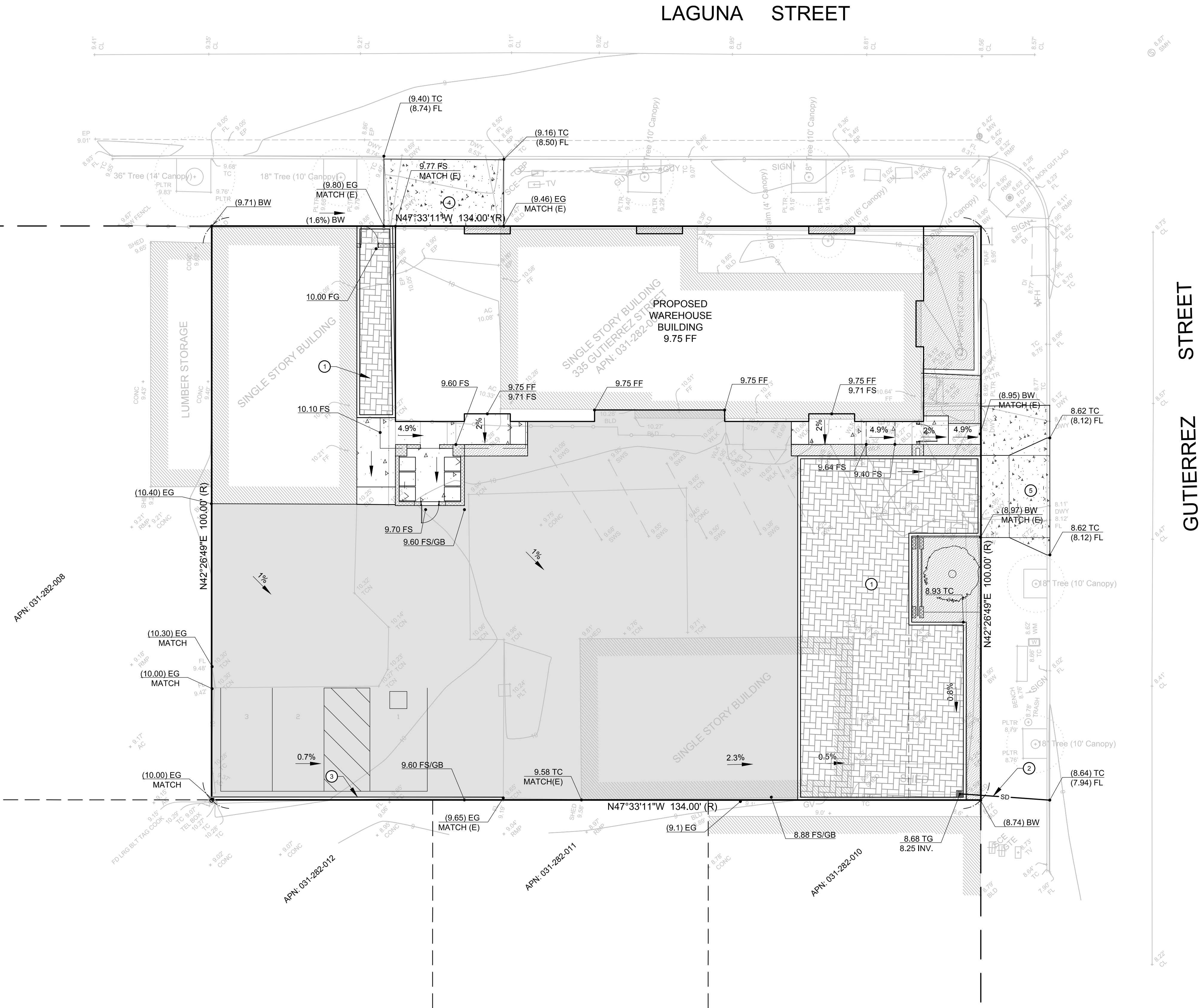
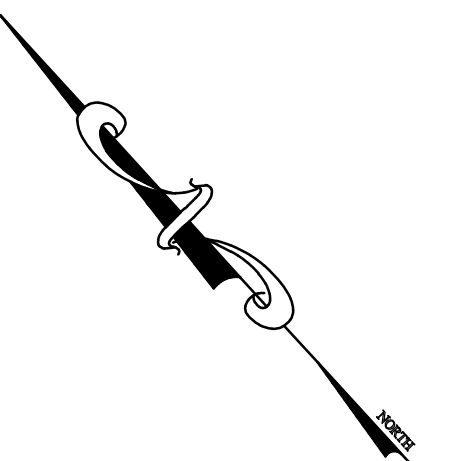
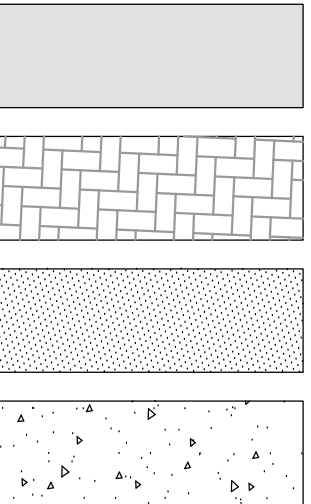
AC - ASPHALT CONCRETE
BVC - BEGIN VERTICAL CURVE
BW - BACK OF WALL (GRADE AT BW)
CL - CENTERLINE
COTG- CLEANOUT TOP OF GRATE
DIP - DUCTILE IRON PIPE
EV - END VERTICAL CURVE
EP - EDGE OF PAVEMENT
ESMT - EASEMENT
(E) EXISTING
EXIST - EXISTING
FG - FINISHED GRADE ELEVATION
FH - FIRE HYDRANT
FL - FLOW LINE
FF - FINISHED FLOOR ELEVATION
FS - FINISHED SURFACE ELEVATION
FW - FRONT OF WALL
GB - GRADE BREAK
GP - GRADING PLAN
HDPE - HIGH DENSITY POLYETHYLENE
HP - HIGH POINT
INV - PIPE/RAIN INVERT ELEVATION
LF - LINEAR FEET
LP - LOW POINT
LI - LEFT
MH - MANHOLE
MJ - MECHANICAL JOINT
PL - PROPERTY LINE
POC - POINT OF CONNECTION
PVC - POLYVINYL CHLORIDE
R - RADIUS
RCP - REINFORCED CONCRETE PIPE
R/W - RIGHT OF WAY
RW - RETAINING WALL
Rt - RIGHT
SS - SANITARY SEWER
SD - STORM DRAIN
STE - STATION
TF - TOP OF FOOTING ELEVATION
TG - TOP OF GRATE
TW - TOP OF WALL ELEVATION
WL - WATER LINE
WM - WATER METER
VV - WATER VALVE
(XX.XX) = EXISTING ELEVATION

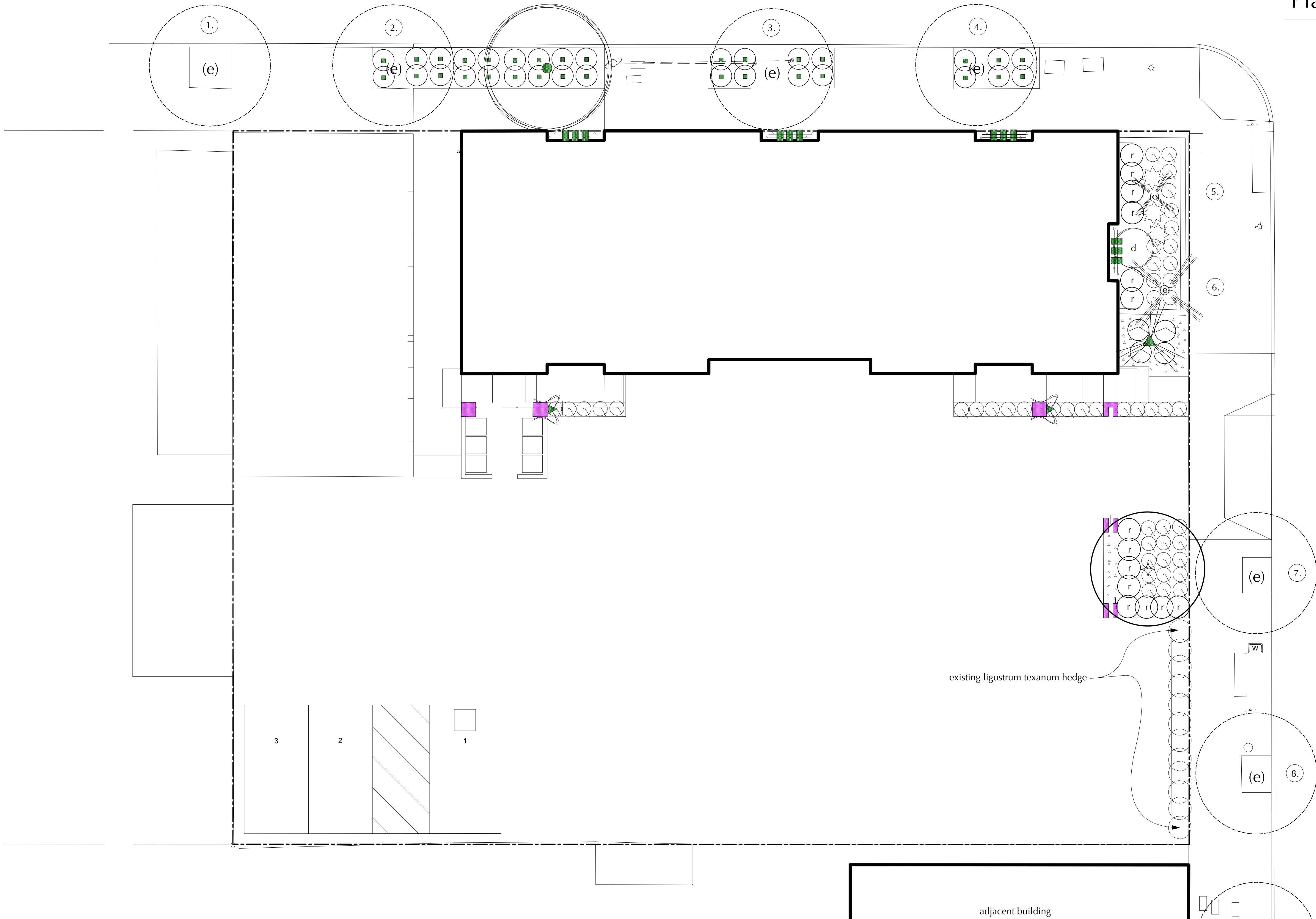
PROPOSED ASPHALT PAVING

PROPOSED PERMEABLE PAVEMENT

PROPOSED LANDSCAPING

PROPOSED CONCRETE PAVING





Plant Legend

- (e) existing city street tree
- 24" box cupaniopsis anacardioides (carrotwood) (city street tree)
- 48" box cassia leptophylla (golden medallion tree) (wucols, addendum low)
- 6' trunk arcastrum romanzoffianum (queen palm)
- d 15 gal doryanthes palmeri (giant spear lily)
- r 5 gal raphiolepis umbellata 'minor' (indian hawthorn)
- 1 gal lantana 'new gold'
- 5 gal yucca 'bright star' (yellow yucca)
- 5 gal carissa macrocarpa 'Tomlinson' (compact natal plum)
- 1 gal agapanthus orientalis (nine lily)

GREEN SCREEN (powder coated metal grid)

- 1 gal hederia helix

VINES

- 5 gal trachelospermum jasminoides (star jasmine), on posts and galvanized wires

GROUNDCOVERS, non-plants

- 3/8" angular gravel - 3" deep. Palm Springs (excavate soil as necessary to keep gravel 1" below adjacent paved surfaces)

New Planting Bed Decompaction and Amendment Notes

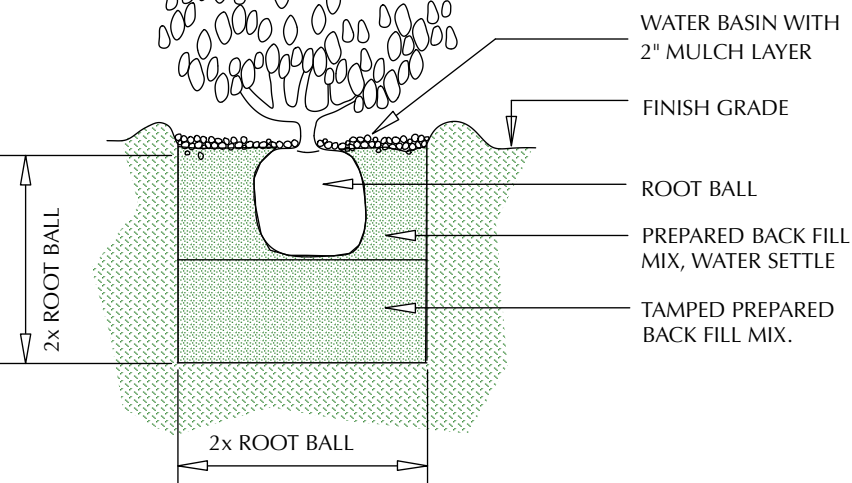
- Newly created landscape beds (previously covered with paving) shall be decompacted to 30" deep.
- Remove all soil to a depth of 30". Discard rocks and gravel.
- Remove 25% of soil volumn. Add 30% by volumn high quality planting compost, mix native and amended soil thoroughly and place back in excavation.
- Add 15-15-15 fertilizer at rate corresponding to 20 lbs per each 1000 sf of planting square footage.
- Fill beds with amend soil to 3.5" low from adjacent finished surfaces to allow for 3" of wood mulch.

Scale: 1" = 8' 0"

Planting Plan

NOTES:

- DEPRESSED BASIN W/ MULCH
- CROWN OF 1" PLANT TO BE PLANTED ABOVE FINISH GRADE

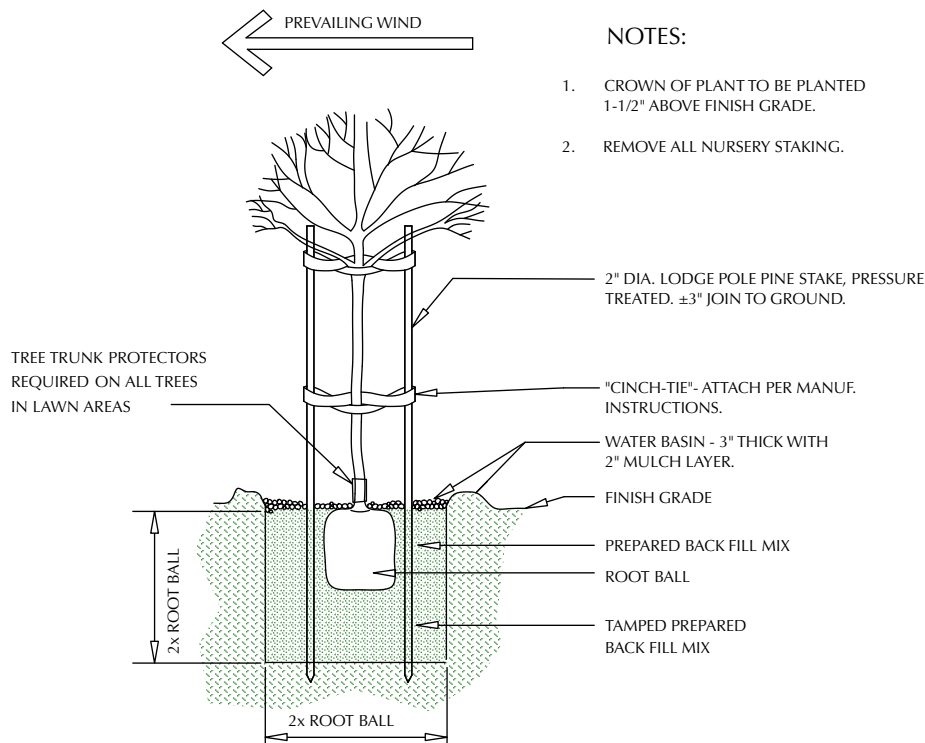


J SHRUB PLANTING DETAIL

NOT TO SCALE

NOTES:

- CROWN OF PLANT TO BE PLANTED 1-1/2" ABOVE FINISH GRADE.
- REMOVE ALL NURSERY STAKING.



I TREE PLANTING DETAIL

NOT TO SCALE

Existing Tree Schedule

2. — plan reference number (example)

tree number	botanical name/(common name)	status	notes
1.	11" cupaniopsis anacardioides (carrotwood)	SB Street Tree	Protect
2.	11" cupaniopsis anacardioides (carrotwood)	SB Street Tree	Protect
3.	11" cupaniopsis anacardioides (carrotwood)	SB Street Tree	Protect
4.	11" cupaniopsis anacardioides (carrotwood)	SB Street Tree	Protect
5.	8' chamaerops humilis (mediterranean fan palm)	(in regulated set back area)	Protect
6.	30' archontophoenix cunninghamiana (queen palm)	(in regulated set back area)	Protect
7.	14" melaleuca quinquinervia (paper bark)	SB Street Tree	Protect
8.	14" melaleuca quinquinervia (paper bark)	SB Street Tree	Protect
9.	14" melaleuca quinquinervia (paper bark)	SB Street Tree	Protect

CM+LA

Charles McClure + Landscape Architect

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SANTA BARBARA CA, 93101
Ph: (805) 729 1179
cmla3114@gmail.com
web: cmlasb.com
Ca. License No. 3114 since 1989

what can be conceived can be created

Wayne and Lynn Ashcraft
335 East Gutierrez Street
Santa Barbara, Ca. 93101

CM+LA
Charles P. McClure
Landscape Architect
Ca. Lic. No. 3114
exp. 3-31-2021
Santa Barbara
Since 1988

signature

date

REVISION :

SHEET TITLE :

Planting Plan

DATE : August, 2019

SCALE : 1/8" = 1'-0"

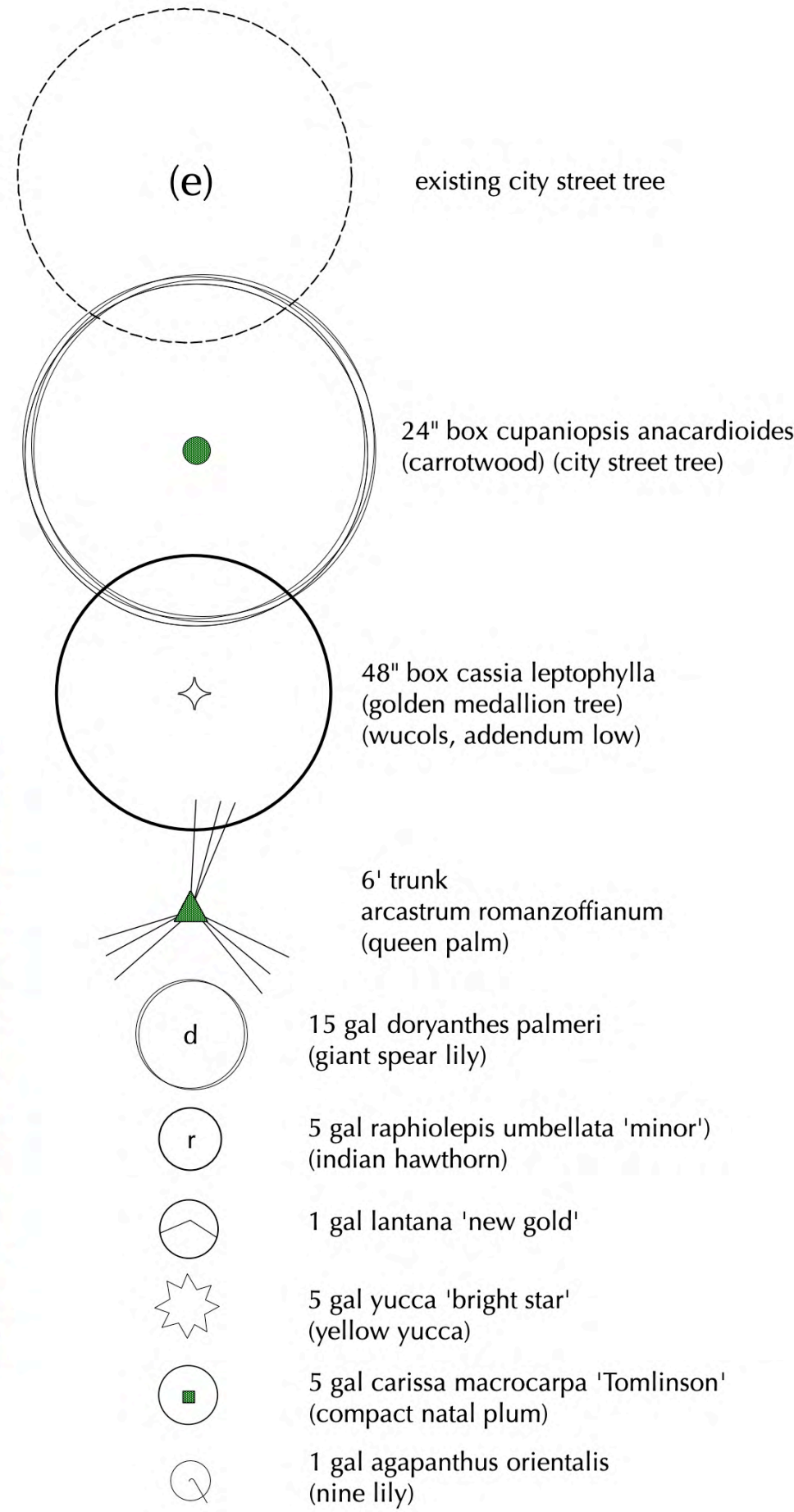
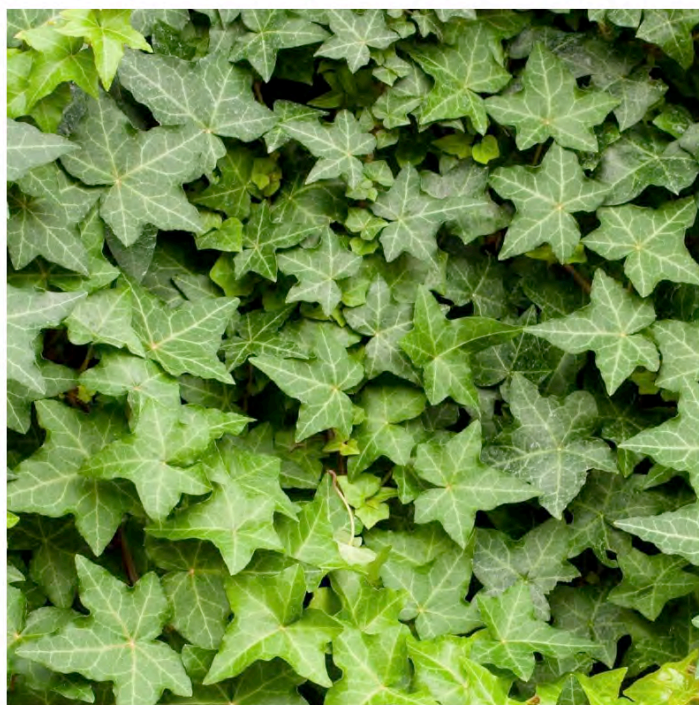
DRAWN : C.M.

JOB :

SHEET :

L-1

OF SHEETS



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1 gal heder helix

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CM+LA Charles P. McClure Landscape Architect Ca. Lic. No. 3114 exp. 3-31-2021 Santa Barbara Since 1988

signature

date

REVISION :

SHEET TITLE :

Photographs of Proposed Plants

DATE : August, 2019

SCALE : 1/8" = 1'-0"

DRAWN : C.M.

JOB :

SHEET :

L-2

OF 2 SHEETS

Photographs of Proposed Plants